

155.230 Article 12 Signs

155.231 Intent

The regulations contained in this article intend to provide for the establishment of signs, lighting, and displays that will promote viable commercial and industrial activity, but will not by reason of their size, location, spacing, construction, or manner of display, endanger life or limb, confuse or mislead traffic, obstruct vision necessary for traffic safety, or otherwise endanger the public health or safety. Furthermore, it is the intent of these regulations to preserve and improve the appearance of the city by preventing placement of 1) oversized signs that are out-of-scale with surrounding buildings and structures, and 2) an excessive accumulation of signs that would cause visual clutter. These regulations are further intended to regulate permitted signs in such a way as to create land use patterns compatible with other major land-use objectives and to prevent such signs from causing annoyance or disturbance to the citizens and residents of the city.

155.232 Scope Of Requirements

It shall be unlawful for any person, firm, or corporation to erect, construct or alter any sign in the City of Inkster without complying with the provisions of this Code. Applicable penalties for any violation of this Code are established through City Council resolution and may be amended from time to time.

Any sign already established on the effective date of this Code, and which is rendered nonconforming by the provisions herein and any sign which is rendered nonconforming as a result of subsequent amendments hereto, shall be subject to the regulations concerning nonconforming structures and uses set forth in Section 155.180 Article 9 Nonconforming Lots, Uses and Structures of this Zoning Code.

155.233 Definitions

For the purpose of this Code, the following definitions shall govern the meaning of the terms used:

Sign: Any use of words, numbers, figures, devices, designs, logos or trademarks visible to the general public and designed to inform or attract the attention of persons not on the premises on which the sign is located, including the structure upon which such words, numbers, figures, devices, designs, logos or trademarks are or may be written, printed or affixed unless said structure is a building as defined in applicable city codes. A sign shall include a device commonly known as a "search light" or mechanism which emits beam(s) of light into the air as well as "floating" displays such as balloons or stuffed or inflated figures.

Animated Sign: A sign which uses lights, moving parts, or other means to depict a creature or being as living or having life.

Awning Sign: A sign which is printed on or affixed to an awning or canopy.

Banner Sign: Signs produced on cloth, paper, fabric or other combustible material of any kind, either with or without frames.

Billboard: A freestanding or ground sign with an area in excess of 200 square feet.

Building Line: The minimum distance required between the right of way and the nearest supporting member of a building, structure, or sign, as specified in the Inkster Building Code.

Face: The area or display surface used for the message.

Festoon Sign: A sign consisting of a wreath or garland of flowers, leaves, paper or other material hanging in a loop or curve.

Freestanding or Ground Sign: A sign which is erected upon or supported by the ground, including signs on poles or pylons that are anchored in the ground.

Gasoline Price Sign: A gasoline price sign is any sign more than 2 square feet in area which is used to advertise the price of gasoline. In the event that the brand identification sign is attached to or a part of the sign advertising price, that portion of the sign used for advertising price shall be considered the gasoline price sign.

Lot: Part of a subdivision, the plat of which has been recorded in the office of the Wayne County Register of Deeds; or a plot of land, the deed of which has been recorded in the office of the Wayne County Register of Deeds.

Marquee: A roof like structure or awning projecting over an entrance, as to a theatre.

Monolith Signs: A three-dimensional, self-supporting, base-mounted, freestanding sign, consisting of 2 or more sides extending up from the base, and upon which a message is painted or posted. A monolith sign may also consist of a base-mounted cylindrical structure upon which a message is painted or posted.

Nonconforming Signs: Signs which are prohibited under the terms of this Code but were in use and lawful at the date of enactment of this Code, shall be deemed nonconforming.

Obsolete Signs: Signs that advertise a product that is no longer made or that advertise a business that has closed.

Outline Tubing Sign: A sign consisting of glass tubing, filled with a gas such as neon, which glows when electric current is sent through it.

Pennant Sign: Signs or displays consisting of long, narrow, usually triangular flags.

Parcel: One or more lots under single ownership and control, which are used, developed, or built upon as a unit. Such lots may be in one or more subdivisions, and in one or more municipalities.

Portable Signs: Signs which are not permanently affixed to a building face or to a pole, pylon, or other support that is permanently anchored in the ground. Portable signs are capable of being readily moved from one location to another.

Projecting Sign: A sign so constructed and erected as to be attached at one end to a building, metal pole or other structure and projecting out therefrom.

Real Estate Sign: A sign used to indicate that a parcel of property or building is for sale, lease or rent.

Roof Sign: A sign erected upon and structurally supported by the roof of a building.

Sandwich Sign: A sign consisting of 2 advertising boards laid back-to-back and at least partially supported by each other.

Spinners: A sign or display consisting of paper, plastic, or other types of parts that spin.

Temporary Political Sign: A sign used to advertise a political candidate or a forthcoming election, or urging support for a particular cause or a vote on a particular topic which is intended to be erected only a few days or weeks.

Temporary Sign: A sign which is intended to be erected only a few days or weeks including portable signs, trailer signs, banners, pennants or any other sign which is not permanently affixed to a building face or to a pole, pylon or other support that is permanently anchored on the ground.

Trailer Signs: A sign that is mounted on a frame with wheels, and is capable of being pulled by a vehicle or by hand. For the purposes of this Code, trailer signs shall be considered portable signs.

Variance: A modification of the literal provisions of this Code, granted when strict enforcement would cause undue hardship due to circumstances unique to the individual parcel on which the variance is granted.

Wall Sign: A sign which is attached to, affixed to, placed upon, or painted upon any exterior wall or surface of any building, building structure, or part thereof, provided that no part of any such sign extends more than 12 inches from the face of the exterior wall. For the purposes of this Code, signs attached to the face of a mansard roof shall be considered wall signs.

Window Sign: Any sign located in or on a window and visible to the general public on the exterior.

155.234 Review, Action and Inspection

(A) Plans, Specification And Permits

- (1) Permits. No new sign shall be erected, constructed, affixed, or painted, unless a sign permit therefor shall have first been approved and issued in accordance with the provisions set forth herein.
- (2) Permit Fee. A permit fee, as established by resolution of City Council and may be amended from time to time, shall be paid to the City Treasurer prior to the issuance of a sign permit in order to cover the costs of examination of sign plans and specifications. Said permit fee shall be credited to the general revenue fund of the City of Inkster.
- (3) Bond fee. A bond fee, as established through resolution of City Council and may be amended from time to time, is required to be submitted at the time the permit is issued. Said bond shall be per property, in cash or check form and refundable upon final inspection of sign and electrical work where applicable.
- (4) Application for Permanent Signs. Although only one permit per sign may be required, the sign erector, contractor or builder and the owner or lessee of the premises upon which the sign is to be erected shall be jointly and severally responsible for applying for and securing a permit and complying with this Code. Application for sign permits shall be made upon forms provided for this purpose by the Building Department and shall include:
 - (a) Plans and specifications showing the dimensions, materials and required details of construction, including loads, stresses, and anchorage.

- (b) Plans indicating the location of the building structure, or parcel of land upon which the sign is to be placed.
 - (c) Written consent of the owner or lessee of the premises upon which the sign is to be erected whenever the application is submitted by a person, firm or corporation other than the owner or lessee.
 - (d) The name of the person, firm, or corporation owning, erecting, maintaining, or operating such sign.
 - (e) All other information required on the application form
- (5) Review of Application for Permanent Signs. The application for sign permit and all supporting plans and specifications shall be reviewed as follows:
- (a) Sign permit applications submitted in conjunction with the proposed construction of a new building shall be reviewed by the Planning Commission as part of the required site plan review. The Planning Commission shall also review sign permit applications for nonconforming signs. Planning Commission review shall be in accordance with the site plan review procedures set forth in Section 155.286 Site Plan Review of this Zoning Code.
 - (b) The Building Official or other official responsible for code enforcement shall review sign permit applications for conforming signs to be erected on a site or existing building where no other new construction is proposed. The Building Official or other official responsible for code enforcement shall also review sign permit applications submitted in conjunction with the proposed construction of a new building and for nonconforming signs, following the review by the Planning Commission.
 - (c) The Building Official or other official responsible for code enforcement shall have the authority to issue a sign permit, provided that the application meets the approval of all reviewing authorities, as outlined above.
- (6) Alteration. A sign shall not be enlarged or relocated except in conformity with the provisions set forth herein for new signs, nor until a proper permit has been secured. The changing or movable parts of an approved sign that is designed for such changes (such as lettering on a marquee sign or numbers on a gasoline price sign) or the repainting or reposting of display matter, shall not be deemed an alteration and shall not require a new permit, provided the conditions of the original approval and the requirements of this article are not violated.
- (7) Permit Not Required. A permit shall not be required for the following signs:

- (a) Any sign listed as an exception under Section 155.241 General Limitations and Provisions of this Zoning Code.
 - (b) Street address signs.
 - (c) Nameplate and identification signs in residential districts.
 - (d) Signs accessory to parking areas.
 - (e) Real estate signs.
 - (f) Temporary window signs.
 - (g) Temporary political signs as outlined in Section 155.246.
 - (h) Open house signs as permitted in Section 155.250 (H)(2).
- (8) Applications for Temporary Signs.
- (a) An application for a temporary sign permit shall be submitted to the Building Department upon forms provided by the City. Such forms shall contain all information specified in Section 155.234 (A) for application for a permanent sign permit. An application and permit shall be required for each such sign.
 - (b) The Building Official or other official responsible for code enforcement shall have the authority to approve a temporary sign application and issue a permit to be valid for up to 30 days in length or the duration of the event to which the sign applies, whichever is shorter.
 - (c) The following size limitations shall apply for all temporary signs:
 - (i) In residentially zoned areas: 16 square feet total for all faces of the sign combined.
 - (ii) In commercially zoned areas: 32 square feet total for all faces of the sign combined.
 - (iii) In industrially zoned areas: 32 square feet total for all faces of the sign combined.
 - (iv) A sign with more than one face shall have its faces back-to-back or arranged so that any two faces which form a "V" in plan shall not have any angle greater than 15 degrees.
 - (d) The sign shall contain no visible, revolving or mechanical parts or movement, or other apparent visible movement achieved by electrical, electronic or mechanical means, including intermittent electrical pulsations or blinking lights, or by action of normal wind current.

- (e) The location, design, structure, materials and support shall not constitute a hazard to safety, health or welfare of the general public during its period of erection.
- (f) The sign shall not be attached to a tree, fence, utility pole, standpipe, gutter, drain or fire escape or impair access to a roof or ingress or egress of any structure.
- (g) The sign shall not be located on any public property, right-of-way or sidewalk or on any property designated or required for parking.
- (h) The applicant shall submit the permit for a temporary sign which shall be established by resolution of City Council except as follows:
 - (i) City organizations, city-sponsored organizations or quasi-city organizations and functions will not be required to pay a temporary sign permit fee. Whether such organizations are city-sponsored or quasi-city associations or functions shall be within the sole discretion of the Building Department or City Council, when applicable.
 - (i) No person, firm or organization shall be entitled to more than 2 temporary sign permits per year. This regulation shall not be circumvented by a business, firm or organization's having a permit issued on its behalf to different applicants. In all cases where a person applies on behalf of any other person, firm, business or organization, such applicant shall divulge on the application form the name of the entity which is intended to benefit by issuance of the temporary sign permit.
 - (j) Prior to issuance of a temporary sign permit to a nonprofit organization, such organization shall provide to the Building Department a permission form signed by the owner of the property where the sign is to be located. Such form, which shall be provided by the Building Department, shall specifically indicate that such organization has permission to erect a sign upon the owner's premises. A temporary sign for any organization which is not nonprofit shall only be erected on the organization's own property.

(B) Inspection And Maintenance

- (1) Inspection of New Signs. All signs for which a permit has been issued shall be inspected by the Building Official or other official responsible for code enforcement when erected, and if found to have been constructed, supported, braced and painted in accordance with the approved plans submitted to the Building Official or other official responsible for code enforcement and in accordance with the

provisions of this Code, then a certificate of inspection shall be issued, upon request and without charge to the owner or erector.

In cases where fastenings, anchorages, etc., are to be installed and bricked in or enclosed in such a manner that the inspector would not be able to inspect the anchorages or fastenings used, the sign erector shall advise the Building Official or other official responsible for code enforcement in writing when such anchorages and fastenings are to be installed so that inspection may be completed before enclosure; otherwise the Building Official or other official responsible for code enforcement shall be empowered to stop further construction or erection of said sign until any such concealed anchorages or fastenings are inspected and approved by the Building Official or other official responsible for code enforcement.

- (2) Inspection of Existing Signs. All signs shall be inspected by the Building Official or other official responsible for code enforcement or electrical inspector once a year. If found to be adequately supported, painted to prevent corrosion, and so secured to the building as to safely support the weight of the sign as well as resist wind pressure in accordance with the general structural requirements for new signs, a certificate of inspection shall be issued, upon request. Upon receipt of the inspector's written report, an annual inspection fee, as established by resolution of City Council and may be amended from time to time, shall be paid by the owner or applicant to the city.
- (3) Correction of Defects--New Signs. Should any new sign erection of any kind be found unsafe, insecure, improperly constructed, or not in accordance with the approved plans or the requirements of this Code, the sign erector, owner of the sign, or owner of the land shall make such erection safe, secure, and according to the requirements of this Code, or entirely remove the sign in accordance with the following timetable:
 - (a) If the Building Official or other official responsible for code enforcement determines that the sign is an immediate threat to the safety of persons nearby, all required action to correct the defect shall be taken within 48 working hours (2 working days) from time of notification in writing from the Building Official or other official responsible for code enforcement, provided the sign can be cordoned off or adequately secured during the intervening time so as to remove any immediate threat to safety. If said sign cannot be cordoned off or secured so as to eliminate any immediate threat to safety, then all required action to correct the defects shall be made without delay.
 - (b) If the Building Official or other official responsible for code enforcement determines that the sign is not an immediate threat to the safety of persons nearby, all required action to correct the defect shall be taken within 7 working days after notification in writing from the Building Official or other official responsible for code enforcement.

- (c) If defects are not corrected within the specified time limits, the Building Official or other official responsible for code enforcement may remove such sign at the expense of the sign owner or lessee.
- (4) Correction of Defects-Existing Signs. If, upon inspection, an existing sign is found to be unsafe, insecure, corroded, or subject to corrosion or otherwise poorly maintained so that the sign may become unsafe or insecure before the next annual inspection, then the owner shall make the sign safe and secure by completing any necessary reconstruction, repairs, painting, or other improvements, in accordance with the following timetable:
- (a) If the Building Official or other official responsible for code enforcement determines that the sign is an immediate threat to the safety of persons nearby, all required action to correct the defect shall be taken within 48 hours (2 working days) from the time of notification in writing from the Building Official or other official responsible for code enforcement, provided the sign can be cordoned off or adequately secured during the intervening time so as to remove any immediate threat to safety. If said sign cannot be cordoned off or secured so as to eliminate any immediate threat to safety, then all required action to correct the defects shall be made without delay.
 - (b) If the Building Official or other official responsible for code enforcement determines that the sign is not an immediate threat to the safety of persons nearby, all required action to correct the defect shall be taken within 30 days after notification in writing from the Building Official or other official responsible for code enforcement. The Building Official or other official responsible for code enforcement may extend the 30 day timetable if temperatures below 25 degrees Fahrenheit prevent painting, or if the defects involved are minor, not generally noticeable to the public, and not a hazard to public safety (such as replacement of burned out bulbs).
 - (c) If defects are not corrected within the specified time limits, the Building Official or other official responsible for code enforcement may remove such sign at the expense of the sign owner or lessee.

155.235 Obsolete Signs

Obsolete signs, which include all signs that advertise a product that is no longer made or that advertise a business that has closed, shall be removed by the owner, agent, or person having beneficial use of the building or structure upon which such sign is located, within 30 days after written notification from the Building Official or other official responsible for code enforcement. Upon vacating a commercial or industrial establishment, the proprietor shall be responsible for the removal of all signs used in conjunction with the business.

However, where a conforming sign structure and frame are typically reused by the current occupant or business in leased or rented buildings, the building owner shall

not be required to remove the sign structure and frame in the interim periods when the building is not occupied, provided that the sign structure and frame are maintained in accordance with the standards of this Code and the city's adopted building code.

155.236 Nonconforming Signs

No nonconforming sign shall be altered or reconstructed, unless the alteration or reconstruction is in compliance with the provisions of Section 35.68 [15.498] of the Zoning Code of the City of Inkster, except that nonconforming signs shall comply with the following regulations:

- (A) **Repairs and Maintenance.** Normal maintenance shall be permitted, provided that any nonconforming sign that is destroyed by any means to an extent of more than 50 percent of its replacement cost, exclusive of the foundation shall not be reconstructed. Normal maintenance shall include painting of chipped or faded signs; replacement of faded or damaged surface panels; repair or replacement of electrical wiring or electrical devices; or, changing of movable parts of a sign that is designed for such changes, as specified in this section.
- (B) **Change of Occupancy, Tenancy or Ownership.** All nonconforming signs shall be removed upon change of the business which occupies the premises or building upon which or for which said signs have been posted, including a change in tenancy or ownership of the premises to which the nonconforming signs apply. However, where a change in ownership occurs, which does not result in a simultaneous change of tenancy, then the nonconforming signs, which belong or apply to the tenant need not be removed during such tenancy provided they meet with all other applicable Code requirements.
- (C) **Removal.** Whenever a building upon which a nonconforming sign has been posted or which a sign is physically attached is structurally extended or enlarged such that the building's size is increased by 25% or more, or whenever such a building has 25% or more of the area of its interior or exterior remodeled or altered, then all such posted or attached nonconforming signs shall be removed by completion of the structural extension, enlarged, remodeling or alteration.

155.237 Alteration of Signs

A sign that is altered in appearance or dimension in any manner, including a change in face, lettering, coloring or lighting, or moved to a new location shall be subject to all restrictions applying to a new sign, as set forth herein.

155.238 Compliance with the Zoning Code

Notwithstanding anything to the contrary, the provisions of this Zoning Code shall be strictly complied with. Where the conditions imposed by any provisions of this Code are either more or less restrictive than comparable conditions imposed by provisions in the Zoning Code, the regulations which are more restrictive or which impose higher standards or requirements shall govern.

155.239 Appeal to Board of Zoning Appeals

- (A) Any party who has been refused a sign permit by the Building Department for a proposed sign installation may file a claim of appeal to the Board of Zoning

Appeals. Upon receipt of the appeal and payment of an appeal fee as established by City Council, the Board shall schedule a date for an appeal hearing. At such hearing, the Board may grant such appeal and allow a variance to the provisions of this Code as to non-temporary sign(s) upon a finding that:

- (1) Because of the particular physical surroundings, shape, or topographical conditions of the property, compliance with the provisions of this Code would result in a particular hardship on the owner, as distinguished from inconvenience or a desire to make more money;
 - (2) Strict enforcement of the provisions of this Code would serve no useful purpose, and
 - (3) A variance would be in the best interest of the City and not against the spirit and intent of this Code.
- (B) In considering a request for erection of a temporary sign, the Board may consider, in addition to the factors above, their criteria enumerated below and may establish the appropriate setback of the sign, its size and location and may, by majority vote, reverse, modify or amend any order denying a temporary sign permit or may place reasonable conditions upon the issuance of such a permit. The criteria, along with any other factors found by the Board to be relevant to the request, shall include:
- (1) Whether hardship or practical difficulty is the motivation of the request, i.e. an existing or otherwise permanent sign is out of commission or not yet erected;
 - (2) Whether the person or business presently and actually is going-in or going-out of business;
 - (3) Whether the type of sign structure would pose a significant risk to public health or safety on the premises or on adjacent public property, and
 - (4) Whether the benefit of the temporary sign to the general public and/or applicant under the circumstances outweighs any risk to traffic safety and the city's desire to eliminate the accumulation of visual clutter in accordance with this Code's stated purpose.

155.240 Registration Of Sign Contractors: Licensing And Bonding

Sign contractors, construction companies, maintenance companies, and individual builders or maintenance workers shall register annually with the Building Official or other official responsible for code enforcement prior to erecting, construction, or repairing any sign in the City of Inkster. Such persons or companies shall be required to apply for and secure a business license in accordance with the general regulations of the City and shall post a cash bond, as established by resolution of City Council and may be amended from time to time, with the Building Department for each licensing year. The Building Official or other official responsible for code enforcement shall also be empowered to require a cash bond in an amount he deems appropriate for erection of a sign which, due to its size, location, type and manner of construction, may pose a risk to the health, safety and welfare of the general public during its erection or construction on site.

155.241 General Limitations and Provisions**(A) Exceptions**

The provisions of the Code shall not apply to the following signs, provided such signs are in compliance with the provisions restricting placement of structures in the road right-of-way.

- (1) Miscellaneous traffic and other official signs of any public or governmental agency, such as traffic control or directional signs, railroad crossing signs, trespassing signs, signs indicating danger, signs indicating the location of U.S.G.S. benchmarks, or signs used as aids to service or safety.
- (2) Directional signs required for the purpose of orientation, when approved by the City of Inkster or by the County or State Government.
- (3) Any flag, emblem or insignia of our nation, its governmental units, or its schools.
- (4) Any sign which is located completely within an enclosed building, and which is not visible from outside the building.
- (5) Tablets, grave markers, headstones, statuary, or remembrances of persons or events that are noncommercial in nature.
- (6) Temporary decorations or displays celebrating the occasion of traditionally-accepted patriotic or religious holidays and special municipal and public school activities.
- (7) Public safety and routing signs used on public and private construction sites.

(B) Prohibited Signs

The following signs shall not be permitted or erected in any district:

- (1) Signs which have flashing, blinking or moving lights, or expose incandescent light bulbs. This shall include strobe lights which are wholly located inside a building which are visible to the public outside the premises and are intended to attract the attention of persons not on the premises.
- (2) Cloth and banner signs, pennants, spinners, and paper festoon signs.
- (3) String lights used for commercial purposes, other than Christmas or other decorations.
- (4) Any sign which has any visible moving parts, visible revolving parts, visible mechanical movement of any description, or other apparent visible movement achieved by electrical, electronic, or mechanical means, including intermittent electrical pulsation, or by action of normal wind current, except for marina signs located on the waterfront, time, temperature, and stock market signs as provided in this section.
- (5) Any sign or sign structure which is structurally unsafe, or constitutes a hazard to safety or health by reason of inadequate maintenance, dilapidation or abandonment, or is not kept in good repair, or is

capable of causing electrical shock to persons likely to come in contact with it.

- (6) Any sign that obstructs a window, door or other opening that could be used for fire escape.
- (7) Any sign which makes use of the words "Stop", "Look", or "Danger", or any other words, phrases, symbols, or characters, in such a manner as to interfere with, mislead or confuse traffic.
- (8) Any sign or other advertising structure containing obscene, indecent, or immoral matter.
- (9) Any sign unlawfully installed, erected, or maintained.
- (10) Any sign now or hereafter existing, which no longer advertises a bona fide business conducted, or product sold.
- (11) Any sign attached to a standpipe, gutter drain, or fire escape, or any sign erected so as to impair access to a roof.
- (12) Any sign that would project above the parapet line of any roof, except as permitted in Section 155.251 (J) and as permitted with ground or freestanding signs.
- (13) Projecting or overhanging signs, except permitted wall signs which may project up to 12 inches from the face of the wall.
- (14) Any sign which is attached to a tree, fence, or utility pole.
- (15) Portable or temporary signs, except as specifically provided for in this Code.
- (16) Signs painted on or attached to a parked vehicle, truck, trailer, or van, which is being used principally for advertising purposes, rather than for transportation purposes. This restriction shall not apply to permitted temporary truckload sales.
- (17) Any other sign not specifically authorized by this Code.
- (18) Signs on street furniture, such as benches, newspaper stands, and trash receptacles.

155.242 Structural Requirements, Mounting

All signs shall be constructed and erected in a safe and stable manner in accordance with provisions of the City's adopted building code, the National Electrical Code, and of this section. All electrical wiring associated with freestanding signs shall be installed underground. All signs must be mounted in one of the following ways:

- (A) Flat against a building or wall.
- (B) Back-to-back in pairs, so that the backs of the signs will be screened from view.
- (C) Clustered in an arrangement, which will screen the backs of the signs from view.
- (D) Mounted so that the backs of the signs are painted and maintained in a neutral color that blends with the surrounding environment.

155.243 Motorist Visibility

No sign shall be located on or near any street corner or near any right-of-way, which would obscure vision of drivers using said street, and no sign shall in any way conflict with traffic control signals at the intersection of any streets. No sign shall be located so as to impair or impede the visibility of a vehicle entering into or exiting from a parcel of property.

155.244 Illumination

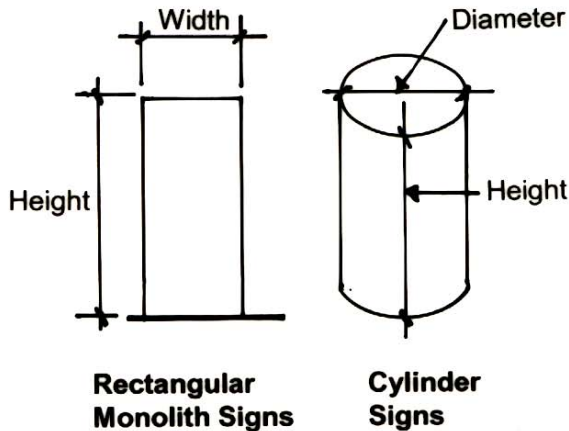
- (A) Signs shall be illuminated only by steady, stationary, shielded light sources directed solely at the sign, or internal to it, without causing glare for motorists, pedestrians, or neighboring premises.
- (B) All exterior illumination shall be shaded so as not to project onto adjoining property or thoroughfares.
- (C) Direct exterior illumination and internally illuminated signs shall avoid the use of glaring undiffused lights or bulbs that could distract motorists.
- (D) No signs shall be illuminated by the use of flashing, moving, or intermittent lighting, except for time, temperature, or stock market signs as provided in Section 155.251 (I).
- (E) Illuminated signs shall not produce more than one foot-candle of illumination measured 4 feet from such signs. Illumination levels shall be certified through signed plans, elevations, sections and details from a licensed electrical engineer as employed or retained by the sign company.

155.245 Measurement

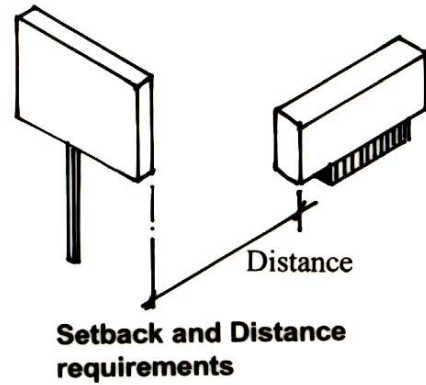
The area of all signs shall be computed by measuring the area of the regular shaped envelope required to enclose the lettering and/or logo and the structures to which the letters and/or logo are attached.

- (A) Wall sign area shall be computed using the envelope around the letters.
- (B) Double-Faced Freestanding area sign shall be computed using only one face of the sign provided that:
 - (1) The outline and dimensions of both faces are identical, and
 - (2) The faces are back-to-back so that only one face is visible at any given location.
- (C) Monolith Sign area shall be computed by measuring the entire vertical surface of a face upon which the letters and/or logo are attached. In the case of a double-faced or multi-faced monolith sign, the area of the sign shall be computed using only one face of the sign. The area of a cylindrical monolith sign shall be computed by multiplying the diameter of the cylinder by its height.
- (D) A sign support shall not be considered when measuring the area of ground or freestanding sign.
- (E) In determining conformance with setback standards and distance requirements, the following guidelines shall be used:

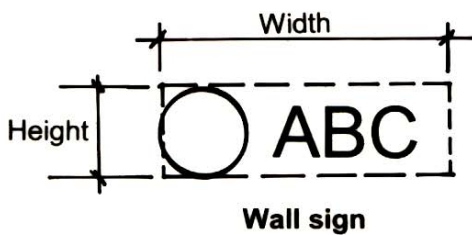
- (1) The distance between two signs shall be measured along a straight horizontal line that represents the shortest distance between the two signs.
- (2) The distance between a sign and a parking lot shall be measured along a straight horizontal line that represents the shortest distance between the sign and the outer edge of the parking lot.
- (3) The distance between a sign and a building or property line shall be measured along a straight horizontal line that represents the shortest distance between the sign and the building.



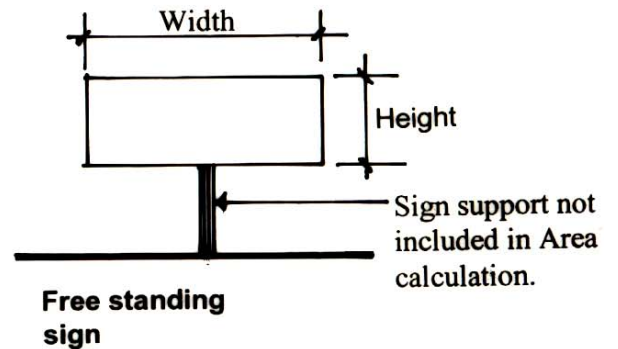
Area: Rectangular sign = (Height x Width)
 Cylinder sign = (Height x Diameter)



Setback measurement ≈ Distance measurement



Area = (Height x Width)



Area = (Height x Width)
 not including sign support

Measurement of Sign Area

155.246 Real Estate Signs (for non-residential districts)

Freestanding and wall-mounted signs offering the premises on which they are located "for sale," "for lease," or "for rent," shall be permitted in any nonresidential district subject to the following controls:

- (A) Number: There shall not be more than 1 such sign per parcel, except that on a corner parcel 2 signs, 1 facing each street shall be permitted.
- (B) Area: No real estate sign in a nonresidential district shall exceed 32 square feet in area.
- (C) Height: No freestanding sign shall project higher than 8 feet above curb level. No wall-mounted sign shall project higher than 10 feet above curb level.

Duration: Real estate signs must be removed within 30 days after sale or lease of a property, or in the case of rental property, 30 days after final occupancy has been issued to the entire development.

See Table 12-1 for illustrations.

155.247 Temporary Political Signs

Temporary political signs shall be permitted subject to the same standards as other temporary signs for the district in which the temporary political signs are located except that no permit for their erection shall be required. The following provisions, however, recognize the special needs of the community in presenting diversified opinions, educating the public or advertising or advocating a candidacy or cause in a forthcoming election. Therefore, in addition to the types of temporary political or temporary signs otherwise permitted in a particular district, the following types of temporary political signs shall also be allowed without a permit for their erection subject to the following standards:

- (A) **Business and Industrial Districts**
In Office, Commercial and Industrial Districts or on such property, temporary political signs shall be no larger than 16 square feet and shall not project higher than 5 feet above curb level.
- (B) **Residential Districts**
In Residential Districts or on such property, temporary political signs shall be no larger than 3 feet in height by 4 feet in width and shall not project higher than 5 feet above curb level.
- (C) **Location**
No temporary political sign shall be placed within or upon any public right-of-way or on any public property. Nor shall any such sign be located or placed on any property in a manner, which is likely to obstruct the view of travelers along a public way or otherwise endanger public safety. Any such sign so located or placed may be immediately removed by the proper city authority.
- (D) **Number**
Two such temporary political signs shall be permitted per parcel in Office, Commercial or Industrial Districts or on such property. One such sign per candidate shall be permitted in residential districts or on such property.
- (E) **Permission Required**
The candidate or campaign committee or other person or organization desiring to erect a temporary political sign shall obtain the permission of the owner of a building, structure or property prior to posting same.

(F) **Erection of Signs**

No temporary political sign shall be erected sooner than 30 days before the date of the election or vote upon the proposition to which the sign or signs pertain. The political candidate, any campaign chairperson or campaign officer or director as well as the sign owner, the sign erector and the subject property owner shall be jointly and severally responsible for complying with this provision.

(G) **Removal of Signs**

It shall be the responsibility of the political candidate, campaign chairperson, the structure or property owner where the sign is located or other person or organization which erected a temporary political sign to cause same to be removed within 10 days after the date of the election or vote upon the proposition to which the sign or signs pertain. The proper city authority may remove any such sign still posted after the 10 day period.

See Table 12-1 for Illustrations.

155.248 Church and Religious Institution Signs

Church and Religious Institution signs shall be permitted subject to the same standards as other signs for the district in which the religious institution signs are located. However, in recognition of the fact that a religious institution may be located in a residential district where signs may not be allowed, such institution may erect signs as follows: on the premises or property of the religious institution when such signs are used for the identification of the church or affiliated school, parsonage, or other facility; and/or used for advertising the time or subject of religious services, denomination of the religious institution; and/or presenting other related information or ideology:

(A) **Number**

There shall be no more than 1 sign per parcel, except that on a corner parcel, 2 signs, 1 facing each street, shall be permitted. In the case of a school, parsonage, or other facility affiliated with and located on the same parcel as a church, 1 additional sign shall be permitted for the purposes of identification of said school, parsonage, or other affiliated facility.

(B) **Area**

No sign shall exceed 32 square feet.

(C) **Location**

Signs shall be located at least 10 feet inside all property lines.

(D) **Height**

No sign shall project higher than 8 feet above the curb level.

(E) **Signs Advertising Special Church Events**

1 additional sign shall be permitted per parcel for the purposes of advertising special church events, such as bingo or church picnics. Any sign shall conform to the standards for area, location, and height for church signs as outlined in this section.

See Table 12-1 for illustrations.

155.249 Billboards

The following regulations are intended to protect the public health, safety, and welfare by regulating the location, size, height, spacing and other aspects of billboards. These regulations are necessary because billboards can reduce traffic safety by diverting the attention of motorists from the road, and because billboards are often incompatible with other signs and land uses in surrounding areas. Consequently, billboards shall be permitted in nonresidential districts subject to the following controls:

- (A) **Number:**
No billboard shall be erected at any time when there are 12 or more billboard faces in the city.
- (B) **Area:**
The total sign area of any billboard shall not exceed 300 square feet per face or 600 square feet for all sign faces per sign structure for signs located in the "adjacent area" next to an interstate highway, freeway, or primary highway, as defined in the Highway Advertising Act, Michigan Public Act 106 of 1972, as amended. The total sign area of any billboard located elsewhere in the city shall not exceed 300 square feet per face or 600 square feet for all sign faces per sign structure.
- (C) **Setback:**
No billboard shall be closer than 15 feet from a property line. No billboard shall project over public property.
- (D) **Distance from Other Signs:**
Along interstate highways, freeways, and primary highways, no permanent sign structure located in a business area or unzoned commercial or industrial area (as defined in Michigan Act 106 of 1972, as amended) shall be erected closer than 1000 feet to another sign structure on the same side of the highway. Billboards located elsewhere in the city shall not be erected closer than 50 feet to any freestanding or ground sign.
- (E) **Distance from Noncommercial Uses:**
No billboard shall be closer than 500 feet to any residential property, church, school, or neighborhood park, or playground. A neighborhood park or playground is one that serves primarily the residents living in the neighborhoods immediately surrounding the park or playground, as contrasted with a city-wide park, ballfield or stadium that is intended to provide for the recreation needs of residents throughout the city.
- (F) **Height:**
The top of any billboard shall be no higher than 25 feet above grade for signs located in the "adjacent area" next to an interstate highway, freeway, or primary highway, as defined in Michigan Act 106 of 1972, as amended. The top of any billboard located elsewhere in the city shall be no higher than 20 feet above grade.
- (G) **Illumination:**
The light rays of a billboard with external illumination shall be cast directly upon the billboard and shall not be visible to motorists except as reflected from the billboard.

See Table 12-1 for illustrations.

155.250 Residential District Signs**(A) Required Street Address**

For the purposes of public safety, the street number of every residential building shall be prominently displayed on a side of the building facing the street, using numbers that are at least 3 inches in height.

(B) Nameplate and Identification Signs

Nameplate and identification signs shall be permitted in residence districts subject to the following controls:

- (1) Content: Nameplate and identification signs may be used only to indicate the name and address of the occupant.
- (2) Number: There shall be not more than 1 nameplate or identification sign, which may be either freestanding or attached to the building.
- (3) Location: Such signs shall be located at least 6 feet inside all property lines.
- (4) Size: Such signs shall be no larger than 1 square foot.
- (5) Height: Such signs shall project no higher than 5 feet above curb level.

(C) Nonresidential advertising or identification signs

No signs shall be permitted in a residential-zoned district that advertise or identify a nonresidential use, except as permitted herein.

(D) Signs accessory to parking areas

Signs accessory to parking areas shall be permitted in multiple-family residential districts subject to the following:

- (1) Entrance/Exits Signs: Signs designating parking area entrances and exits shall be limited to 1 sign for each such exit or entrance, and to a maximum size of 2 square feet each.
- (2) Identification Sign: 1 sign per parking area, designating the conditions of use or identity of such parking area and limited to a maximum size of 9 square feet, shall be permitted. Parking lots that are accessible from more than one street shall be permitted to erect 1 identification sign facing each street.
- (3) Directional signs, no parking signs, and signs identifying parking spaces for the handicapped shall be permitted as needed within parking areas.

(E) Garage sale signs

Garage sale signs shall be permitted in residence districts subject to the following controls:

- (1) Permit: A permit shall be obtained from the Building Department. Each garage sale sign applicant shall be charged a nominal fee, as established by resolution of City Council and may be amended from time to time, for such permit. The permit shall be valid for the length of the garage sale, but in no case shall it be valid for more than 3

consecutive days. No more than 3 permits per address per calendar year shall be awarded.

- (2) Number: A maximum of 3 signs shall be posted for each garage sale.
- (3) Size: Garage sale signs shall be no larger than 2 square feet.
- (4) Location: Such signs shall be located on private property.
- (5) Removal: Upon the close of the garage sale business each day, all garage sale signs shall be removed. Such signs may be erected again at the start of the garage sale on each day of business in accordance with permit conditions. All garage sale signs shall be removed upon the termination of the garage sale or upon expiration of the sign permit, whichever occurs first.

(F) **Permanent residential identification signs**

Residential development permanent identification signs shall be permitted in residential districts subject to the following controls:

- (1) Content: Permanent residential identification signs shall bear only the name of the development or subdivision, the address of the building if a multiple-family structure and the name and address of the management if applicable.
- (2) Area: No such sign shall exceed 48 square feet in area.
- (3) Number: There shall not be more than 1 such sign located at each entrance to the subdivision or development.
- (4) Height: No such sign shall project higher than 6 feet above curb level.

(G) **Temporary accessory signs in residential developments**

Temporary signs accessory to residential developments and other permitted improvements shall be permitted in residential districts subject to the following controls:

- (1) Content: Temporary accessory signs in residential developments shall be used only for the purposes of identification of homes, condominiums, apartments, or mobile home sites for sale or rent in the residential development under construction, or for the identification of other nonresidential uses under construction.
- (2) Area: Temporary accessory signs shall not exceed 64 square feet in area.
- (3) Number: 1 such sign shall be permitted for each entrance, provided that no more than 2 such signs shall be permitted per development or subdivision.
- (4) Location: Such sign shall observe the front yard requirements of the district in which it is located, and shall be located at least 50 feet from the perimeter of the development on all other sides.
- (5) Height: No sign shall project higher than 8 feet above curb level.
- (6) Time Limitation: A sign permit for any temporary accessory sign in a residential development shall have a time limitation of 90 days. The sign permit may be extended for subsequent 90 day periods if applied

for by the applicant and granted by the Building Official or other official responsible for code enforcement.

(H) **Real estate signs**

- (1) "For Sale" or "For Rent" Signs: Freestanding and wall-mounted signs offering the premises on which they are located "for sale" or "for rent" shall be permitted in a residential district. Not more than one such sign shall be permitted per parcel, except that on a corner parcel 2 signs, one facing each street, shall be permitted. No such sign shall exceed 6 square feet in area or project higher than 6 feet above curb level. Such signs shall be removed within 30 days after sale or rent of the subject property.
- (2) "Open House" Signs: Signs which indicate that a particular residence is open for viewing by the public may be erected on Saturdays and/or Sundays between 12:00 p.m. and 6:00 p.m. as follows:
 - (a) On collector roads or major thoroughfares, as same are defined by the Zoning Code and master plan of the City of Inkster, such signs shall be placed at least 10 feet from the curb to the leading edge of the sign. If, however, on any such roads, the distance between the curb and sidewalk is less than 10 feet, then such signs shall be placed on the furthest side of the sidewalk from the curb at a point which is at least 10 feet from the curb to the leading edge of the sign.
 - (b) On local roads, as same are defined in the Zoning Code and Master Plan, such signs shall be placed between the sidewalk and curb with the legs or sign edge immediately adjacent to the sidewalk. In the event no sidewalk exists, then such a sign shall be placed at least 10 feet from the curb.
 - (c) In all cases, the sign-owner and erector shall secure the permission of the private property owner if the sign is to be placed upon private as opposed to public property. Further, it shall be the responsibility of the sign-owner and sign-erector to determine whether the property is privately or publicly owned.
 - (d) No such sign shall exceed 5 square feet or project higher than 3 feet above the ground level.
 - (e) Each such sign shall contain the name, address and phone number of the sign-erector or owner.
 - (f) All such signs shall be removed by 6:00 p.m. on the same Saturday and /or Sunday on which they were erected. Failure to remove such signs shall result in their confiscation by the city, their storage for no more than 5 days and assessment of the storage fee against the sign-erector or owner, and their destruction by the city if the sign-owner or erector fails to reclaim any such sign. The city shall not be required to notify the sign-erector or owner of any such sign in its possession, but, rather, it shall be the obligation of the sign-owner or

erector to contact the city to determine the location of its signs, which have been confiscated or removed.

(I) **Signs for nonconforming uses**

Each nonconforming nonresidential use in a residential district shall be permitted one accessory sign which shall conform to the requirements of this Article concerning content, location, height and projection. In addition, the following requirements shall be met:

- (1) Area: No such accessory wall sign shall exceed 2 square feet in area.
- (2) Lighting: No such accessory wall sign shall be intentionally lighted.

Business districts signs.

The following signs shall be permitted in all districts zoned for business uses, including those districts zoned B-1, B-2, and B-3:

See Table 12-2 for illustrations.

155.251 Business and Office District Signs

The following signs shall be permitted in O-1, B-1, B-2 and B-3 zoning districts subject to the conditions and standards set forth within.

(A) **Signs for residential uses in business districts**

Signs for nonconforming residential uses in business districts shall be governed by the sign regulations for residential district uses set forth in this Article.

(B) **Wall Mounted Signs**

Wall-mounted signs shall be permitted in business districts subject to the following controls:

- (1) Number: 1 wall-mounted sign shall be permitted per street frontage on each parcel. However, where more than one tenant share a building, 1 wall sign shall be permitted per tenant, and total permitted sign area shall be allocated on an equal basis to all tenants.
- (2) Area: Total wall sign area shall not exceed 1 1/2 square feet per lineal foot of building frontage.
- (3) Location: Wall-mounted signs shall be located on the fronts of buildings, except that buildings located on a corner lot shall be permitted to have 1 wall-mounted sign on the side facing a street.
- (4) Vertical Dimensions: The maximum vertical dimension of any wall-mounted sign shall not exceed 1/3 of the height of the building.
- (5) Horizontal Dimensions: The maximum horizontal dimension of any wall-mounted sign shall not exceed 3/4 of the width of the building.
- (6) Height: The top of a wall-mounted sign shall not be higher than whichever is lowest:
 - (a) 25 feet above grade.
 - (b) The top of the sills at the first level of windows above the first story.

- (c) The height of the building facing the street on which the sign is located.
- (7) Projection: Wall-mounted signs shall not project farther than 12 inches from the face of the wall.
- (C) **Ground or freestanding signs**
 Ground or freestanding signs shall be permitted in O-1, B-1, B-2 and B-3 districts subject to the following controls:
 - (1) Number: 1 ground or freestanding sign shall be permitted per street frontage on each parcel. If more than one tenant shares a building or shopping center, only 1 ground or freestanding sign shall be permitted, but the total sign area should be allocated on an equal basis to all tenants.
 - (2) Area: Where total parcel frontage is 64 feet or less, the total sign area shall not exceed 48 square feet.

 Where the total parcel frontage exceeds 64 feet, the total sign area shall not exceed 3/4 of one square foot per lineal foot of parcel frontage, up to a maximum of 200 square feet, except that the maximum area of monolith signs shall be 125 square feet.
 - (3) Setback: A ground or freestanding sign shall be located on private property and no part of the sign or its structure shall extend beyond the established building line. No such sign shall project over public right-of-way.
 - (4) Distance from Other Signs: Ground or freestanding signs shall be located at least 35 feet from any other existing ground or freestanding sign. Where compliance with this standard would not be possible due to the close proximity of existing signs on adjacent parcels, installation of a ground or freestanding sign on an intervening parcel shall be permitted provided said sign is located midway between signs on adjacent parcels.
 - (5) Height: The top of a ground or freestanding sign shall not be higher than 25 feet.
- (D) **Marquees**
 Marquees shall be permitted in business districts subject to the following controls:
 - (1) Construction: Marquee signs shall consist of hard incombustible materials. The written message must be affixed flat to the vertical face of any marquee.
 - (2) Vertical Clearance: A minimum vertical clearance of 10 feet shall be provided beneath any marquee sign.
 - (3) Projection: Limitations imposed by this Code on the projection of signs from the face of the wall of a building or structure shall not apply to marquee signs.
 - (4) Number: 1 marquee shall be permitted per street frontage.

- (5) Area: Total marquee sign area shall not exceed 1 1/2 square feet per lineal foot of building frontage.

(E) **Signs on awnings and canopies**

Signs shall be permitted on awnings and canopies in business districts subject to the following controls:

- (1) Lettering and Logo Area: The total area of the lettering and logo shall not exceed 25% of the total area of the awning or canopy that is visible from the street.
- (2) Vertical Clearance: A minimum vertical clearance of 8 feet shall be provided beneath any awning or canopy.
- (3) Construction: The written message must be affixed flat to the face of any awning or canopy.
- (4) Projection: Limitations imposed by this Code on the projection of signs from the face of a wall of a building or structure shall not apply to awnings or canopies.
- (5) Height: The top of a wall-mounted sign shall not be higher than whichever is lowest:
 - (a) 25 feet above grade.
 - (b) The height of the building facing the street on which the sign is located.
- (6) An awning or canopy sign shall only be permitted in lieu of a wall-mounted sign, a ground or freestanding sign, a marquee, a gasoline price sign, a time/temperature/stock market sign or roof sign otherwise permitted on the subject property.

(F) **Cloth and banner signs (temporary)**

Temporary cloth and banner signs shall be permitted in business districts subject to the following controls:

- (1) Duration: Temporary cloth and banner signs shall be erected for no longer than 30 days. Damaged signs shall be removed or repaired immediately.
- (2) Area: Such signs shall not exceed 48 square feet in area.
- (3) Number: 1 temporary cloth or banner sign shall be permitted per street frontage.
- (4) Location: No such sign shall extend beyond the building line or into a public right-of-way or obstruct points of escape from buildings or structures.
- (5) Illumination: Cloth or banner signs shall not be purposely illuminated.
- (6) Bond: Permits for temporary cloth or banner signs may be obtained from the Building Official or other official responsible for code enforcement. A cash bond, as established by resolution of City Council and may be amended from time to time, shall be posted with the Building Official or other official responsible for code enforcement with each temporary sign application. The cash bond shall be

released to the applicant upon removal of the temporary sign in compliance with the time stated on the application.

(G) **Gasoline price signs**

Gasoline price signs shall be permitted in the B-3 General Business district subject to the following controls:

- (1) Number: 1 gasoline price sign shall be permitted for each gas station, except that on a corner lot, 2 signs, 1 facing each street, shall be permitted.
- (2) Area: Such signs shall not exceed 20 square feet in area.
- (3) Location: Such signs shall be located on private property, no closer than 1 foot from the right-of-way line where abutting public rights-of-way and no closer than 1 foot from within setback lines where such signs abut all other property.
- (4) Height: The top of a gasoline price sign shall be no higher than 15 feet.
- (5) Vertical Clearance: A minimum vertical clearance of 10 feet shall be provided beneath any gasoline price sign.

(H) **Window signs**

Temporary and permanent window signs shall be permitted on the inside in commercial or office districts provided that the total combined area of such signs does not exceed 1/3 of the total window area. The area of permanent window signs shall be counted in determining compliance with standards for total area of wall-mounted signs on the parcel. Temporary window signs that are faded, yellowed, ripped or otherwise damaged shall be removed immediately.

(I) **Time/temperature/stock market signs**

Time, temperature, or stock market signs shall be permitted in business districts provided the following conditions are met:

- (1) The message change shall not be more frequent than once every 10 seconds.
- (2) The area of these types of signs shall be included within the maximum sign area permitted on the site.
- (3) 1 time, temperature, or stock market sign shall be permitted per street frontage.

(J) **Roof signs**

Roof signs shall be permitted in business districts after Planning Commission recommendation and City Council review and approval. The City Council shall grant approval of a roof sign only if the Council determines that either of the following conditions exists.

- (1) A permitted wall or freestanding sign could not be easily seen by passing motorists due to the configuration of existing buildings, trees, or other obstructions.

- (2) A permitted wall or freestanding sign could not be erected in a location that is visible to passing motorists because of the unavailability of land or wall area.
- (3) If conditions (A) and (B) are met as determined by the City Council, the following requirements shall be complied with:
 - (a) Area: Total sign area of roof signs shall not exceed 40 square feet.
 - (b) Height: The top of a roof sign shall not be higher than 6 feet above the top of the roof or parapet.
 - (c) Number: 1 roof sign shall be permitted per street frontage. Where more than 1 tenant share a building total permitted sign area shall be allocated on an equal basis to all tenants.
 - (d) Location: Roof signs shall be located on the fronts of buildings, except that buildings located on a corner lot shall be permitted to have 1 roof sign on the side facing the street.
 - (e) Vertical Dimensions: The maximum vertical dimension of any roof sign shall not exceed 1/3 of the height of the building.
 - (f) Horizontal Dimensions: The maximum horizontal dimension of any roof sign shall not exceed 3/4 of the width of the building.
 - (g) Distance from Utilities: Roof signs shall be located at least 4 feet from any utility poles, at least 5 feet from any 600 volt utility conductor, and at least 8 feet from any 13,200 volt utility conductor.
- (K) **Required street address**
 For the purposes of public safety, the street number of every building shall be prominently displayed on a side of the building facing the street, using numbers that are at least 5 inches in height.

See Table 12-3 for illustrations.

155.252 Industrial District Signs

The following signs shall be permitted in the M-1 zoning district subject to the conditions and standards set forth within.

- (A) **Signs for residential, commercial, and office uses in an industrial district**
 Signs for nonconforming residential, commercial and office uses in industrial district shall be governed by the sign regulations for residential and business districts uses set forth in Sections 155.250 and 155.251 herein.
- (B) **Wall mounted signs**
 Wall-mounted signs shall be permitted in industrial districts, subject to the following controls:
 - (1) Number: 1 wall-mounted sign shall be permitted per street frontage on each parcel. However, where more than one tenant share a building, 1 wall sign shall be permitted per tenant, and total permitted sign area shall be allocated on an equal basis to all tenants.

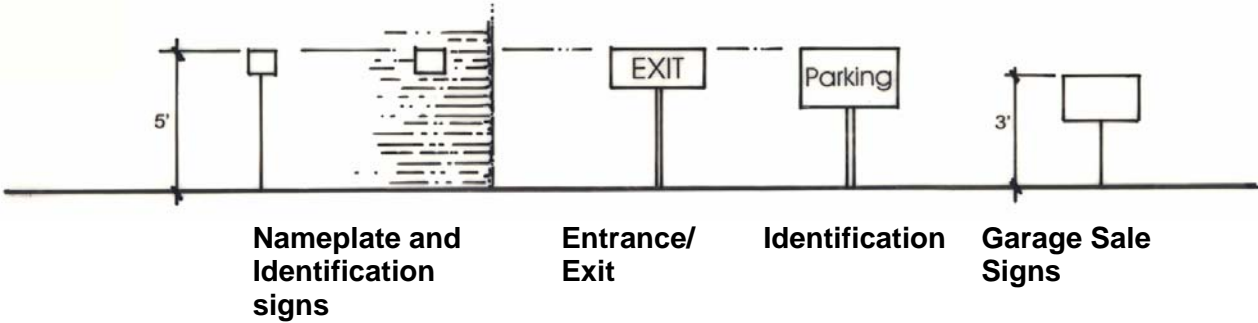
- (2) Area: Total sign area shall not exceed 1 1/2 square feet per lineal foot of building frontage.
 - (3) Location: Wall mounted signs shall be located on the fronts of buildings, except that buildings located on a corner lot shall be permitted to have 1 wall-mounted sign on the side facing the street.
 - (4) Vertical Dimensions: The maximum vertical dimension of any wall-mounted sign shall not exceed 1/3 of the height of the building.
 - (5) Horizontal Dimensions: The maximum horizontal dimension of any wall-mounted sign shall not exceed 3/4 of the width of the building.
 - (6) Height: The top of a wall-mounted sign shall not be higher than whichever is lowest:
 - (a) 25 feet above grade.
 - (b) The top of the sills at the first level of windows above the first story.
 - (c) The height of the building facing the street on which the sign is located.
 - (7) Projection: Wall-mounted signs shall not project farther than 12 inches from the face of the wall.
- (C) **Ground or freestanding signs**
 Ground or freestanding signs shall be permitted in industrial districts subject to the following controls:
- (1) Number: 1 ground or freestanding sign shall be permitted per street frontage on each parcel. If more than one tenant share a building, only 1 ground or freestanding sign shall be permitted, but the total sign area should be allocated on an equal basis to all tenants.
 - (2) Area: Total sign area shall not exceed 100 square feet.
 - (3) Setback: Ground or freestanding signs shall be located on private property no closer than 15 feet from the building line or front property line of the industrial park or parcel. Where compliance with this standard would not be possible due to the location of existing industrial buildings or structures within the required 15-foot setback area, a ground or freestanding sign shall be permitted provided it is located on private property and no part of the sign or its structure extends beyond the established building line. No such sign shall project over public right-of-way.
 - (4) Height: The top of a ground or freestanding sign shall be no higher than 25 feet.
- (D) **Signs on awnings and canopies**
 Signs shall be permitted on awnings and canopies in industrial districts subject to the following controls:
- (1) Lettering and Logo Area: The total area of the lettering and logo shall not exceed 25 percent of the total area of the awning or canopy that is visible from the street.

- (2) Vertical Clearance: A minimum vertical clearance of 8 feet shall be provided beneath any awning or canopy.
 - (3) Construction: The written message must be affixed flat to the vertical face of any awning or canopy.
 - (4) Projection: Limitations imposed by this Code on the projection of signs from the face of the wall of a building or structure shall not apply to awnings or canopies.
 - (5) An awning or canopy sign shall only be permitted in lieu of a wall-mounted or ground or freestanding sign otherwise permitted on the subject property.
- (E) **Required street address**
For the purposes of public safety, the street number of every industrial building shall be prominently displayed on side of the building facing the street, using numbers that are at least 5 inches in height.

See Table 12-4 for illustrations.

Table 12-2 Residential District Sign Schedule – Part 1

Area and Height Criteria (Maximum) Area: 6 square feet Area: 2 square feet Area: 9 square feet Area: 2 square feet



Sign Type		Signs accessory to parking areas	
Number of Signs (Maximum)	1 wall-mounted or free standing sign per property	1 entrance/exit sign per drive. 1 identification sign per parking area, except 1 identification sign per street for areas accessible from more than 1 street.	Maximum of 3 signs.
Sign Location:	Shall be located at least 6 feet inside property lines.	Not applicable.	Shall be located on private property only.
Additional Criteria:	Signs shall only indicate the name and address of the property occupant.	Directional, no parking, and barrier-free parking space signs shall be permitted as needed.	See Section 155.250 (E) for additional requirements.

Table 12-2 Residential District Sign Schedule – Part 2

Area and Height Criteria (Maximum) Area:48 square feet Area: 64 square feet Area: 6 square feet Area:5 square feet

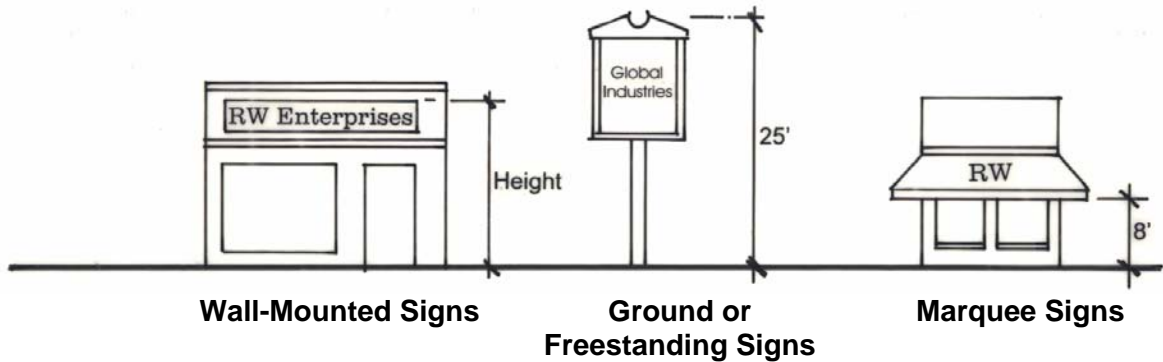


Permanent Residential Identification Signs Temporary Accessory Signs in Residential Developments For Sale or Rent Open House

Sign Type			Real Estate Signs
Number of Signs (Maximum)	1 sign per subdivision or development entrance.	1 sign per entrance and 2 signs per subdivision or development.	1 sign per parcel; except that Corner parcels may have one sign per frontage up to a maximum of 2 signs.
Sign Location:	Sign(s) shall meet the front yard requirements for the subject-zoning district and shall be located at least 50 feet from other property lines.	Sign(s) shall meet the front yard requirements for the subject-zoning district and shall be located at least 50 feet from other property lines.	Sign(s) shall be at least 10 feet from a curb line but not allowed to overhang a public sidewalk; except that signs on local roads may be placed between the sidewalk and curb provided that the edge or legs are directly adjacent to the sidewalk.
Additional Criteria:	Content shall only include the name of the subdivision or development, building address and management's name and address.	See Section 155.250 (G) for additional requirements.	See Section 155.250 (H) for additional requirements.

Table 12-3 Business and Office District Sign Schedule – Part 1

Area and Height Criteria (Maximum)	Area: 1-1/2 square feet per 1 lineal foot of building frontage	Area: See Section 155.250 (C)	Area: 1-1/2 square feet per 1 lineal foot of building frontage.
	Vertical and Horizontal Dimensions: See Section 155.250 (B)	Height: See Section 155.250 (C)	Height: See Section 155.250 (D)
	Height: See Section 155.250 (B)		



Sign Type	Business and Office District uses		
Number of Signs (Maximum)	1 sign per street frontage. The total permitted sign area shall be equally allocated between all tenants of a multi-tenant building.	1 sign per street frontage. The total permitted sign area shall be equally allocated between all tenants of a multi-tenant building.	1 sign per street frontage. The total permitted sign area shall be equally allocated between all tenants of a multi-tenant building.
Sign Location:	A sign shall be located on the building front except that 1 sign shall be permitted per street frontage for corner lots.	Sign shall be located on private property. No part of the sign or its structure shall extend beyond the building line or overhang the sidewalk.	A sign shall be located on the building front except that 1 sign shall be permitted per street frontage for corner lots. Shall be permitted in lieu of other permitted business district signs.
Additional Criteria:	See Section 155.250 (B) for additional requirements.	See Section 155.250 (C) for additional requirements.	See Section 155.250 (D) for additional requirements.

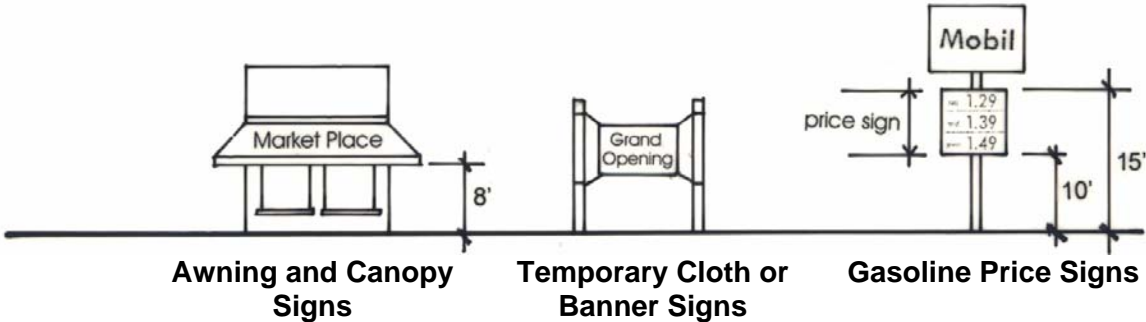
Table 12-3 Business and Office District Sign Schedule – Part 2

Area and Height Criteria (Maximum)

Area: 25%, including logo, of awning or canopy area visible from the street

Area: 48 square feet.

Area: 20 square feet for price portion of the sign.

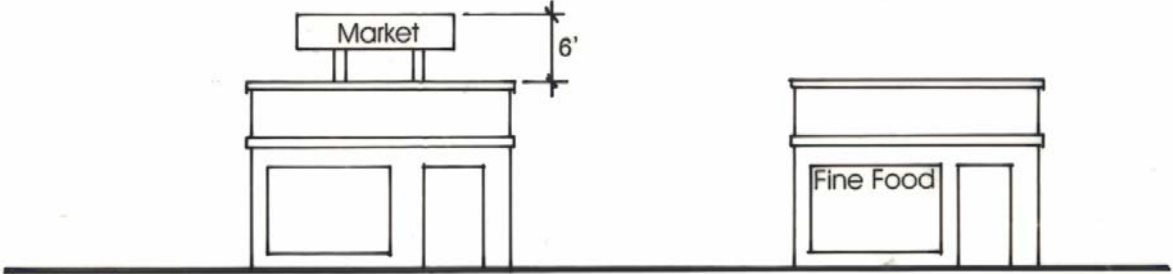


Sign Type	Business and Office District Uses		
Number of Signs (Maximum)	1 sign per public street frontage	1 sign per street frontage.	1 per station except that corner lots may have 2 signs with 1 per street frontage.
Sign Location:	Not applicable.	Sign shall be located on private property. No part of the sign or its structure shall extend beyond the building line, obstruct points of escape from buildings or structures, or overhang a sidewalk.	Sign shall be located on private property. Such signs shall not be located within 1 foot of right-of-way lines and not located within 1 foot of setback lines adjacent to any private property.
Additional Criteria:	Shall be permitted in lieu of other permitted business district signs. See Section 155.251 (E) for additional requirements.	See Section 155.251 (F) for additional requirements.	None.

Table 12-3 Business and Office District Sign Schedule – Part 3

Area and Height Criteria (Maximum) Area: 40 square feet
 Vertical and Horizontal Dimensions:
 See Section 155.251 (J)

Area: 1/3 of total window



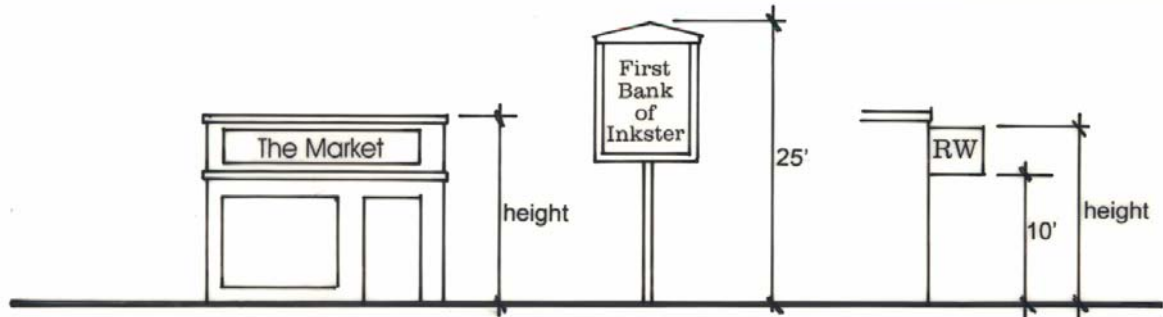
Roof Signs

Window Signs

Sign Type	Business and Office District Uses	
Number of Signs (Maximum)	1 sign per street frontage. The total permitted sign area shall be equally allocated between all tenants of a multi-tenant building.	Not applicable.
Sign Location:	A sign shall be located near the building front except that 1 sign shall be permitted per street frontage for corner lots.	Sign shall be located on the inside of windows of business and office uses located in a Business or Office District.
Additional Criteria:	See Section 155.251 (J) for additional requirements.	The area of such sign(s) shall be counted in determining compliance with area requirements of permitted wall-mounted signs. Signs that are faded, discolored, ripped or otherwise damaged shall be immediately removed.

Table 12-4 Industrial District Sign Schedule

Area and Height Criteria (Maximum)	Area: 1-1/2 square feet per lineal foot of building frontage. Vertical and Horizontal Dimensions: See Section 155.252 (B) Height: See Section 155.252 (B)	Area: 100 square feet	Area: 25%, including logo, of awning or canopy area visible from the street.
---	---	-----------------------	--



Wall-mounted Signs

Ground or Free-standing Signs

Awning and Canopy Signs

Sign Type	Industrial District Uses		
Number of Signs (Maximum)	1 sign per public street frontage. The total permitted sign area shall be equally allocated between all tenants of a multi-tenant building.	1 sign per public street frontage. The total permitted sign area shall be equally allocated between all tenants of a multi-tenant building.	1 sign per public street frontage.
Sign Location:	A sign shall be located on the building front except that 1 sign shall be permitted per street frontage for corner lots.	Sign shall be located on private property at least 15 feet from the front property line. No part of the sign or its structure shall extend beyond the building line or project over a public right-of-way.	None
Additional Criteria:	See Section 155.252 (B) for additional requirements.	See Section 155.252 (C) for additional setback criteria.	Shall be permitted in lieu of other permitted business district signs. See Section 155.252 (D) for additional requirements.

155.253 – 155.259

Reserved